

NOTE:
Plans & Specifications may not be exactly as constructed.
Some modifications may have been made during construction.



DRAWING LIST

Sheet Number	Sheet Name
A001	- Schedules
A101	- Site Plan
A102	- Foundation Plan
A103	- Slab Penetration Plan
A104	- Ground Floor Plan
A105	- Ground Floor Framing Plan
A106	- Roof Plan
A201	- Elevations
A301	- Sections
A501	- House Details
A502	- Garage/Porch Details
A503	- Window Details
A504	- Door Details
A505	- Air Sealing Details
M101	- Ground Floor Mechanical Plan
E101	- Ground Floor Electrical Plan

MEADOW
Hebb Point Rd., Lunenburg NS
60404191

The Builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.

Our plan drawing sets do not take into account site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.

No warranties are either expressed, implied, or guaranteed by this document. It is assumed that the builder has a good knowledge of building physics and the construction techniques necessary to prevent building degradation.

Client:

Barb and Don Mason

**DESIGN DOCUMENTS
ISSUED FOR CONSTRUCTION**

LIST OF ASSEMBLIES:

- F1** CONCRETE FLOOR SLAB (R-31)
4" POLISHED CONCRETE SLAB
15 MIL POLY RADON RATED (AIR/RADON/VAPOUR) BARRIER ALL JOINTS SEALED
7 1/2" TYPE 2 EPS FOAM
6" CRUSHED DRAIN ROCK
UNDISTURBED SOIL/COMPACTED STRUCTURAL FILL
- F2** GARAGE / SCREENED PORCH FLOOR SLAB (R-11)
TILES (SCREENED PORCH ONLY)
4" CONCRETE SLAB
6 MIL POLY (AIR/VAPOUR BARRIER) ALL JOINTS SEALED
2 1/2" TYPE 2 EPS FOAM
6" CRUSHED DRAIN ROCK
UNDISTURBED SOIL/COMPACTED STRUCTURAL FILL
- W1** FOUNDATION WALL (R-17)
1 1/2" TYPE 2 EPS INSIDE
2 1/2" TYPE 2 EPS INSIDE
8" CONCRETE
DAMP PROOFING AS REQUIRED
EXTERIOR FINISH T.B.D.
- W2** PORCH / GARAGE FOUNDATION WALL
8" CONCRETE
DAMP PROOFING AS REQUIRED
- W3** EXTERIOR DOUBLE STUD WALL (R-44)
5/8" DRYWALL
2X4 STUDS W/ TIGHT FITTING R-12 BATT INSULATION, 24" O.C.
1 1/2" NON PERFORATED FOIL FACED POLYISO (AIR/VAPOUR BARRIER) (ALL SEAMS AIR SEALED)
2X8 STRUCTURAL STUDS W/ 2 LAYER TIGHT-FITTING R-12 BATT INSULATION, 24" O.C.
7/16" OSB OR EQ. PLYWOOD SHEATHING
WRB
SIDING AS SHOWN ON ELEVATIONS
- W4** EXTERIOR 2X6 WALL - PORCH / GARAGE (R-22)
INTERIOR FINISH TBD
5MIL POLY (AIR/VAPOUR BARRIER)
2X8 STUDS W/ TIGHT-FITTING R-20 BATT INSULATION, 24" O.C.
7/16" OSB WALL SHEATHING OR EQ.
WRB
SIDING AS SHOWN ON ELEVATIONS
- R1** ROOF OVER HOUSE (R-92)
1/2" DRYWALL
2X4 STRAPPING, 16" O.C.
INTELLO PLUS AIR/VAPOUR BARRIER, ALL JOINTS SEALED
ENGINEERED WOOD TRUSSES, W, 26" CELLULOSE INSULATION, SLOPES AND OVERHANG AS SHOWN ON ELEVATIONS
2" MIN. VENTED AIR SPACE
5/8" OSB ROOF SHEATHING W/ H-CLIPS OR EQ.
METAL ROOFING W/ UNDERLAY AS PER MANU. INSTRUCTIONS
- R2** ROOF OVER PORCH/GARAGE (R-22)
CELLING FINISH T.B.D.
5MIL POLY VAPOUR BARRIER
1X4 STRAPPING 16" O.C.
PRE-ENGINEERED WOOD TRUSSES W/ INSULATION
5/8" OSB ROOF SHEATHING W/ H-CLIPS OR EQ.
METAL ROOFING W/ UNDERLAY AS PER MANU. INSTRUCTIONS

ASSEMBLY NOTES

1. All exterior finish materials and colours are noted on elevations; special interior finishes are noted on the floor plans.
2. For durability, the builder must achieve an airtightness of .75 ACH or better at 50 Pa. Perform a blower-door test after all rough-ins and prior to final insulating in order to confirm this airtightness and to remedy any problems at that time.
3. Main air-sealing materials are to be the foil faced rigid insulation layer on exterior walls, the Intello Plus layer on underside of roof trusses, and the 15 mil sub slab poly which together should form a continuous envelope. Seal foil faced rigid insulation with air sealing tape. Seal 15mil poly with manufacturers recommended product. For taping seams in intello membrane, use manufacturers recommended tapes and sealants.
4. Tape for sealing joints, service penetrations, etc., to be either 3M 8067 or 3015 All-Weather Flashing Tape. Ensure surfaces are dry before applying and caulk all seams with acoustical sealant prior to applying tape.
5. Use min 3" widths of tape for flat seams. For air-sealing corners and other non-flat seams use wide enough tape that covers 1.5" onto the flat of the main air-barrier sheets.
6. 3M 8067 and 3M 3015 tapes are to be considered interchangeable on this project. All other tape substitutions must be confirmed with the designer.
7. Where required, frost walls and non-structural slabs on grade are to use Type 2 EPS
8. Install foam sill gasket under all wood in contact with concrete surfaces, including all plates and columns.
9. For taping weather barrier membrane and other membrane materials, use the product recommended by the manufacturer.
10. Ensure foundation foam is covered as required to protect against intrusions by ants and termites as per local best-practices.
11. Use galvanized foundation flashing or parging to cover exposed portions of foundation foam insulation. If using galvanized flashing:
26 ga. custom bend to fit, min 4" up wall, 10" down foam.
Overlap joints min 4" and w/ 2" 10 stainless screws at all joints.
12. Testing of insulation coverage with IR camera is recommended
13. A rainscreen is required behind all types of siding unless noted otherwise
14. Where frost walls or basement foundation walls are present on plan, foundation wall damp proofing and footer drainage is to meet local building code and site groundwater conditions as required
15. Assembly R-values shown are "center of cavity" values.

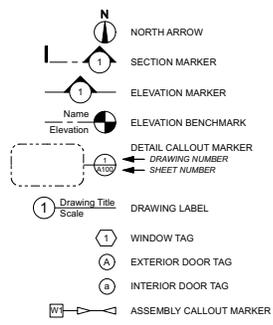
WINDOW & EXTERIOR DOOR SCHEDULE

Image as viewed from exterior	Mark	Door Slab or Window Frame Size		Sash Operation	Head Height (AFF)	Comments
		Width	Height			
	A	3'0"	6'8"	Swing Simple		triple pane glass, multipoint hardware
	B	2'10"	6'8"	Swing Simple		accessible sill, self closing hinge, deadbolt
	C	2'10"	6'8"	Swing Simple		deadbolt
	D	2'10"	6'8"	Swing Simple		triple pane full glass, multipoint hardware, accessible sill
	E	2'10"	6'8"	Swing Simple		double pane full glass, deadbolt
	GW 14	7'0"	26"	Custom	6'10"	Double glazed only - garage window.
	W 01	4'8"	3'0"	Fixed Glass	6'10"	
	W 02	7'0"	3'0"	Custom	6'10"	2/4" right casement
	W 03	2'6"	3'0"	Casement	6'10"	
	W 04	5'0"	4'0"	Custom	6'10"	
	W 05	5'0"	4'0"	Custom	6'10"	
	W 06	5'8"	4'0"	Custom	6'10"	
	W 07	2'10"	4'0"	Casement	6'10"	
	W 08	5'8"	4'0"	Custom	6'10"	
	W 10	5'0"	4'8"	Custom	6'10"	
	W 11	5'8"	5'0"	Custom	6'10"	
	W 12	5'8"	5'0"	Custom	6'10"	
	W 13	5'8"	5'0"	Custom	6'10"	

INTERIOR DOOR SCHEDULE

Mark	Nominal Size		Door Operation	Slab Style	Comments
	Width	Height			
a	6'0"	6'8"	Slider	Solid	
b	3'0"	6'8"	Swing Simple	Solid	
c	3'0"	6'8"	Swing Simple	Solid	
d	3'0"	6'8"	Swing Simple	Solid	
e	8'0"	6'8"	Slider	Solid	3 DOORS
f	3'0"	6'8"	Swing Simple	Solid	
g	3'0"	6'8"	Swing Simple	Solid	GLASS OPTIONAL
h	3'0"	6'8"	Swing Simple	Solid	
i	3'0"	6'8"	Swing Simple	Solid	STC 50, GLASS OPTIONAL
j	3'0"	6'8"	Swing Simple	Solid	STC 50

GENERAL SYMBOLS LEGEND



ABBREVIATIONS LIST

- AV Audio Video
- ACH Air Changes per Hour
- AFF Above Finished Floor
- C/L Center Line
- DHW Domestic Hot Water
- DN Outless Mini-Split
- Down Down
- EPS Expanded Polystyrene
- EQ. Equivalent
- Ext. Exterior
- FD Floor Drain
- GWB Gypsum Wall Board
- HRV Heat Recovery Ventilator
- ICF Insulated Concrete Form
- Inc. Including
- IS Inside
- LVL Laminated Veneer Lumber
- Min. Minimum
- Manu. Manufacturer
- N/R Not Required
- O.A. Overall
- O.C. On Center
- O/S Outside
- OSB Oriented Strand Board
- PT Pressure Treated
- RSO Rough Stud Opening
- T&G Tongue And Groove
- U/S Under Side
- T.B.D. To Be Determined
- TJI Engineered Wooden I Joist
- T.O. Top Of
- Typ. Typical
- Sim. Similar
- SOG Slab On Grade
- Spec Specifications
- SS Stainless Steel
- U/S Under Side
- W/ With
- WC Water Closet
- WRB Weather Resistive Barrier
- XPS Extruded Polystyrene

WINDOW/DOOR SCHEDULE NOTES

1. Window dimensions are to exterior frame.
2. All windows Kohitech Supreme 2020 with Energlass Plus triple glazing or approved eq. Fixed windows are to have picture narrow profile, no steel reinforcing.
3. Window substitutions are to meet these minimum requirements (imperial) conforming with or exceeding minimums laid out in sections 9.7 and SB-12 of the OBC:
Frame: 3 1/4" wide; max. U 0.20
Glass: max. U 0.14, min. SHGC 0.60
Spacer PSI: 0.015
4. Windows to have 1/2" drywall returns at head and jambs, 3/4" trim return for a durable hard surface at sill.
5. Confirm trim and grill options with Owner prior to finalizing order.
6. Owner is to confirm colour for all window and door frames and bric/moulds.
7. Windows and doors are to use stainless steel hardware.
8. Ensure bedrooms conform with code fire egress requirements.
9. Windows are to include heavy duty bug screen.
10. Door dimensions are for door slab.
11. Kohitech exterior doors with Energlass Plus triple glazed and multi-point latching or approved eq.
12. Door substitutions are to meet these requirements (imperial):
Door slab: max. U 0.20
Glass: max. U 0.14, min. SHGC 0.60 with warm-edge spacer
Glazing spacer PSI: 0.015
Thermally broken sill
13. Use manufacturer bric/moulds for exterior swing doors, width to match windows and confirmed by owner.
14. Exterior swing doors are to have threshold extensions as req'd to match bric/mould (by manu.)
15. Exterior sliding patio doors are to have threshold extensions as req'd to match bric/mould (by manu.)
16. If present, exterior double swing doors are to have one swing and one fixed panel as shown.
17. If using a custom painted entry door slab, manufacturer to include a construction door slab to avoid damages to paint.
18. If present, confirm patio door threshold before placing order.
19. If required, include self-closing hinges and air-tight weatherstripping for doors between the house and garage.
20. In case of any discrepancy between casement window or door swings shown on the floor plans and on the window schedule, the floor plan will have authority.
21. See framing plan(s) for window and door rough stud opening table and RSO framing notes.
22. Screened porch windows are to be double glazed with sizes as noted on framing plan.
23. Interior door slab, hardware, trim, and all other features are to be selected by Owner.
24. Allow 4" min for interior trim around interior doors. Builder to confirm all door openings and trim allowances prior to interior door order.



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 2. All Federal, Provincial, and local ordinances, etc., shall be considered as part of the specifications for this building and shall take precedence over anything shown, described, or implied, if and when variances occur.
 3. The Builder is to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
 4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
 5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
 6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
 7. Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
 8. Structural engineering if required, by others.
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Barb and Don Mason
MEADOW
Hebb Point Rd., Lunenburg NS
60404191

**DESIGN DOCUMENTS
ISSUED FOR CONSTRUCTION**

Tuesday, May 24, 2022

Schedules

Drawn By:	ZA	Checked By:	XX
A001			

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MEADOW

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60404191

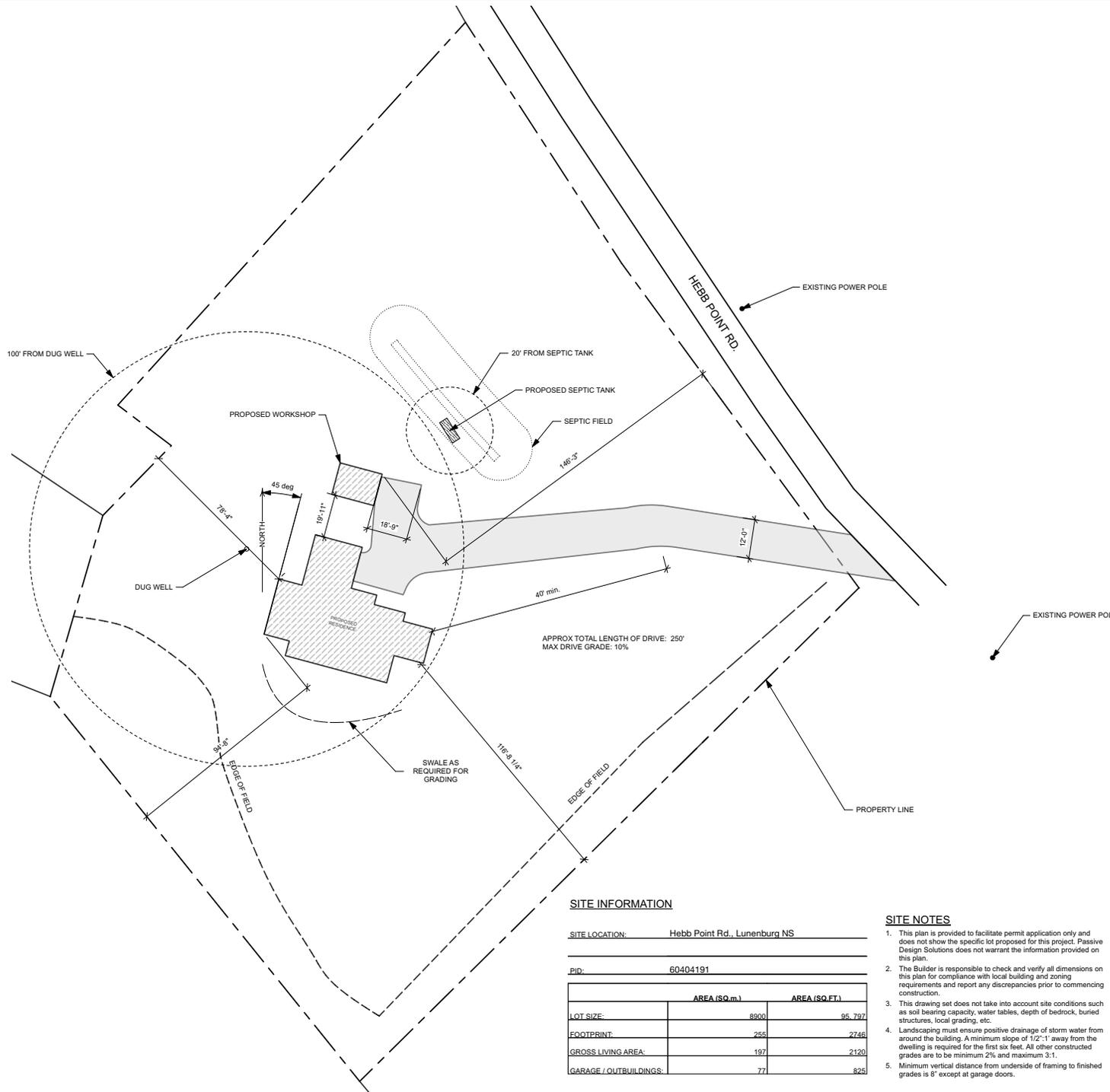
DESIGN DOCUMENTS
ISSUED FOR CONSTRUCTION

Tuesday, May 24, 2022

Site Plan

Drawn By: ZA Checked By: XX

A101



SITE INFORMATION

SITE LOCATION: Hebb Point Rd., Lunenburg NS

PID: 60404191

	AREA (SQ. m.)	AREA (SQ. FT.)
LOT SIZE:	8900	95,797
FOOTPRINT:	255	2746
GROSS LIVING AREA:	197	2120
GARAGE / OUTBUILDINGS:	77	825

SITE NOTES

1. This plan is provided to facilitate permit application only and does not show the specific lot proposed for this project. Passive Design Solutions does not warrant the information provided on this plan.
2. The Builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
3. This drawing set does not take into account site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, local grading, etc.
4. Landscaping must ensure positive drainage of storm water from around the building. A minimum slope of 1/2":1' away from the dwelling is required for the first six feet. All other constructed grades are to be minimum 2% and maximum 3:1.
5. Minimum vertical distance from underside of framing to finished grades is 8" except at garage doors.

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- Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
- Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
- This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
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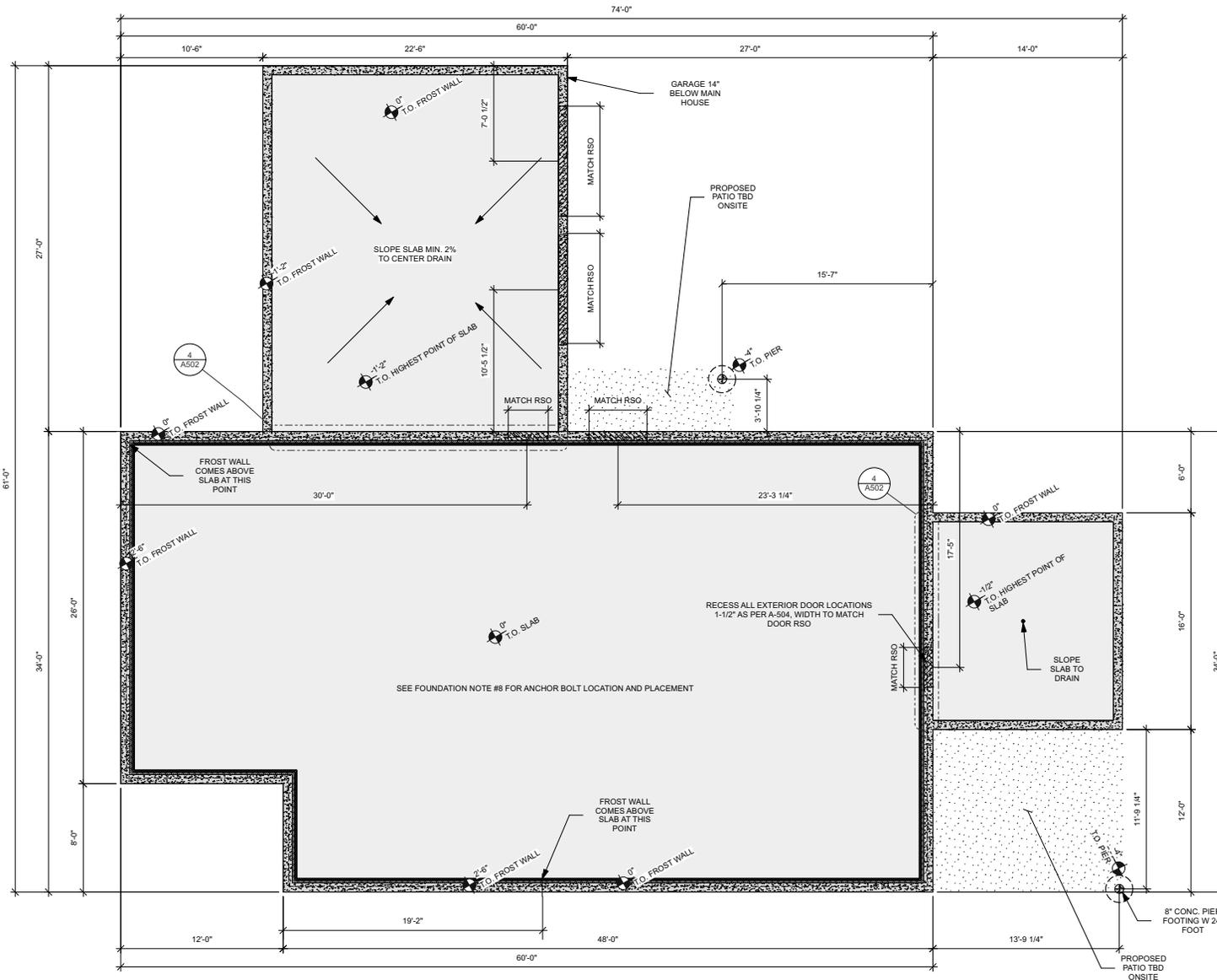
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Tuesday, May 24, 2022

Foundation Plan

Drawn By: ZA Checked By: XX

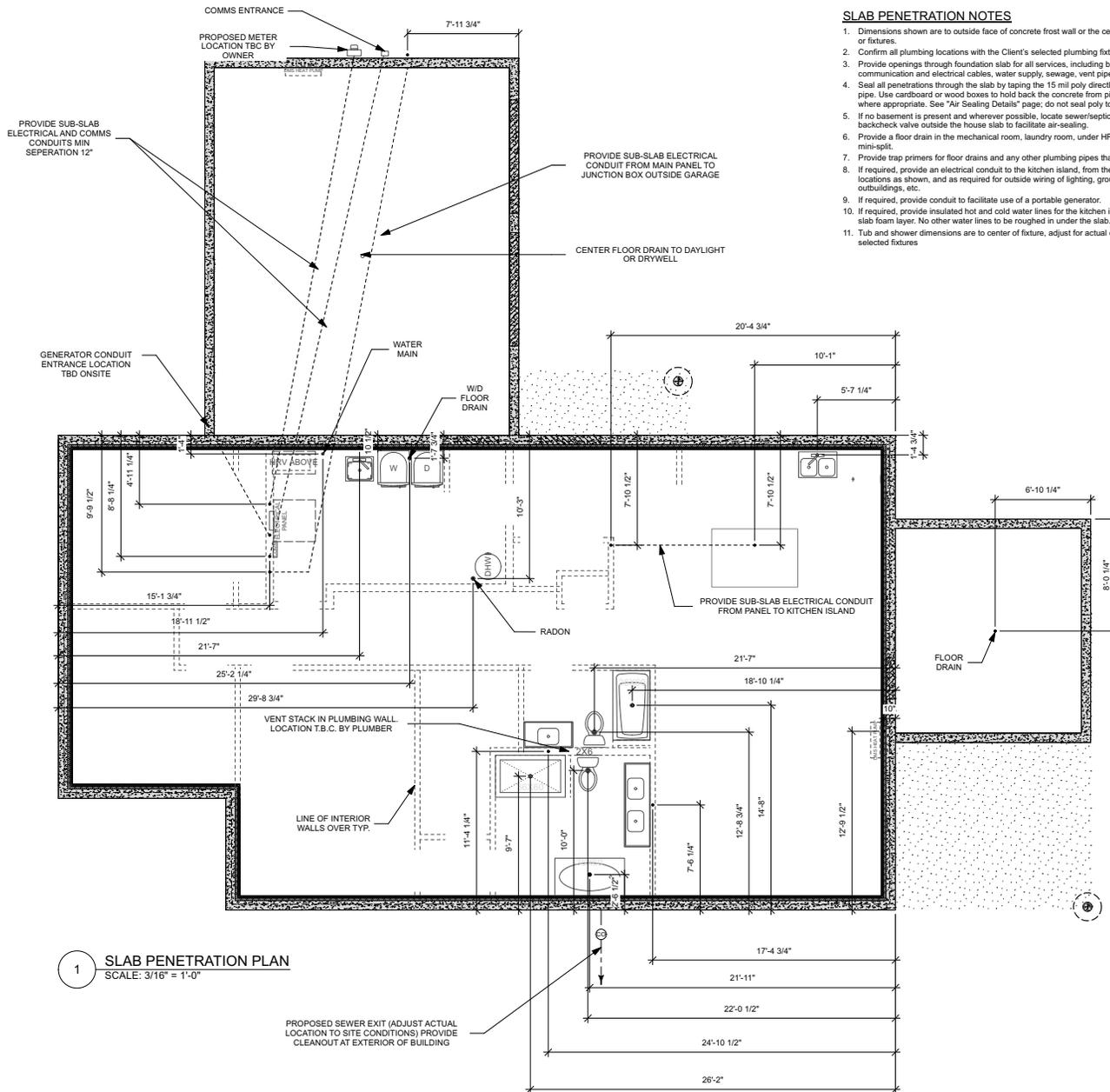
A102



1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

FOUNDATION NOTES

- Dimensions of exterior foundation are to the outside face of the frost wall or centerline of pipes, bearing footers, etc.
- Frost wall with notch as shown on page A501.
- Foundation design indicated is for normal soil conditions. If poor bearing conditions are encountered, the foundation dimensions must be adjusted as per a geotechnical engineer's recommendation.
- Foundation system to extend to undisturbed non organic soil or structural fill, minimum soil capacity of 3000 psf.
- Minimum effective cover for frost protection to bottom of system is as per local codes.
- Spot elevations on plan are relative, not absolute.
- Align top of frost walls and top of slabs.
- Use cast-in-place steel anchor bolts to attach bearing walls to frost walls and slab, 6' o.c. and within 12" of every corner. Placement at 2-1/2" from exterior side of concrete frost wall.
- Use cast-in-place galvanized steel deck brackets for fastening wood posts to poured concrete pier footings.
- Builder to ensure that posts and their supporting pier footings are correctly aligned with one another.
- If using concrete slab as finish floor, confirm with floor polisher if curing compounds or wet curing required.
- If applicable, slope concrete slabs as shown for drainage. Minimum slope 1/4":12"
- Provide penetrations through the slab at all locations as required- see A103 for penetration locations.



SLAB PENETRATION NOTES

1. Dimensions shown are to outside face of concrete frost wall or the centerline of interior walls or fixtures.
2. Confirm all plumbing locations with the Client's selected plumbing fixtures prior to pour.
3. Provide openings through foundation slab for all services, including but not limited to: buried communication and electrical cables, water supply, sewage, vent pipes, radon, etc.
4. Seal all penetrations through the slab by taping the 15 mil poly directly to the penetration pipe. Use cardboard or wood boxes to hold back the concrete from pipes for tolerances where appropriate. See 'Air Sealing Details' page; do not seal poly to unglued pipes.
5. If no basement is present and wherever possible, locate sewer/septic cleanout and backcheck valve outside the house slab to facilitate air-sealing.
6. Provide a floor drain in the mechanical room, laundry room, under HRV and under ductless mini-split.
7. Provide trap primers for floor drains and any other plumbing pipes that are infrequently used.
8. If required, provide an electrical conduit to the kitchen island, from the comm panel to TV locations as shown, and as required for outside wiring of lighting, ground-mounted solar, outbuildings, etc.
9. If required, provide conduit to facilitate use of a portable generator.
10. If required, provide insulated hot and cold water lines for the kitchen island sink in the upper slab foam layer. No other water lines to be roughed in under the slab.
11. Tub and shower dimensions are to center of fixture, adjust for actual drain location of selected fixtures.

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 3. The Builder is, at a minimum, to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
 4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
 5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
 6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
 7. Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
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Barb and Don Mason

MEADOW

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60404191

DESIGN DOCUMENTS
ISSUED FOR CONSTRUCTION

Tuesday, May 24, 2022

Slab Penetration Plan

Drawn By: ZA Checked By: XX

A103



1 SLAB PENETRATION PLAN
SCALE: 3/16" = 1'-0"

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3. The Builder is to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
4. Structural Lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
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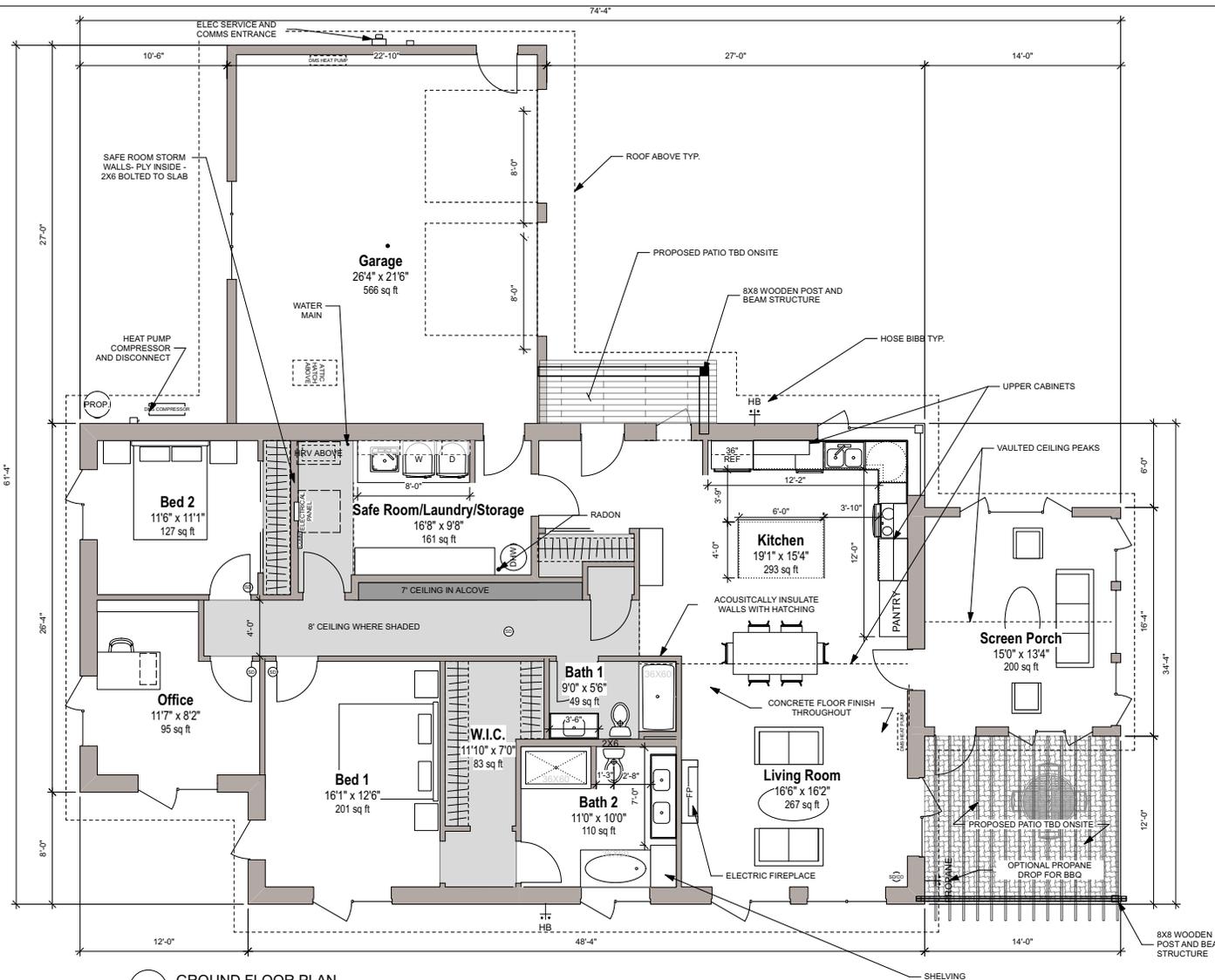
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Tuesday, May 24, 2022

Ground Floor Plan

Drawn By: ZA Checked By: XX

A104



1 GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"
GROSS LIVING AREA: 1972 SQ. FT.

INTERIOR FINISH SCHEDULE

All finishes to be determined by owner

Item	Type	Finish
Mouldings		
Door Trim		
Window Trim		
Wall		
	1	
	2	
	3	
Ceiling		
Floor		
	1	
	2	
	3	
Baseboard		
	1	
	2	
	3	

PLAN NOTES

1. All dimensions shown are to the face of finishes.
2. All interior finishes are l.b.c. by Owner- trim assumptions and suggestions are as shown in interior finish schedule on this page.
3. Confirm all floor to floor heights and stair dimensions on-site, prior to framing.
4. If present, stairs are dimensioned to the face of risers or edge of opening, exclusive of trim and nosings.
5. Framed openings are to be trimmed similar to doors with similar head height unless noted otherwise.
6. Millwork is dimensioned to face of cabinets.
7. Millwork materials, construction, and finishes are to be designed by others and approved by Owner before starting construction.
8. Framing design assumes 3-1/2" trim on interior doors.
9. Bath room sinks, mirrors, & light fixtures are to align with one another.
10. If shown, for acoustically insulated walls seal all joints & sills & holes for air-tightness.

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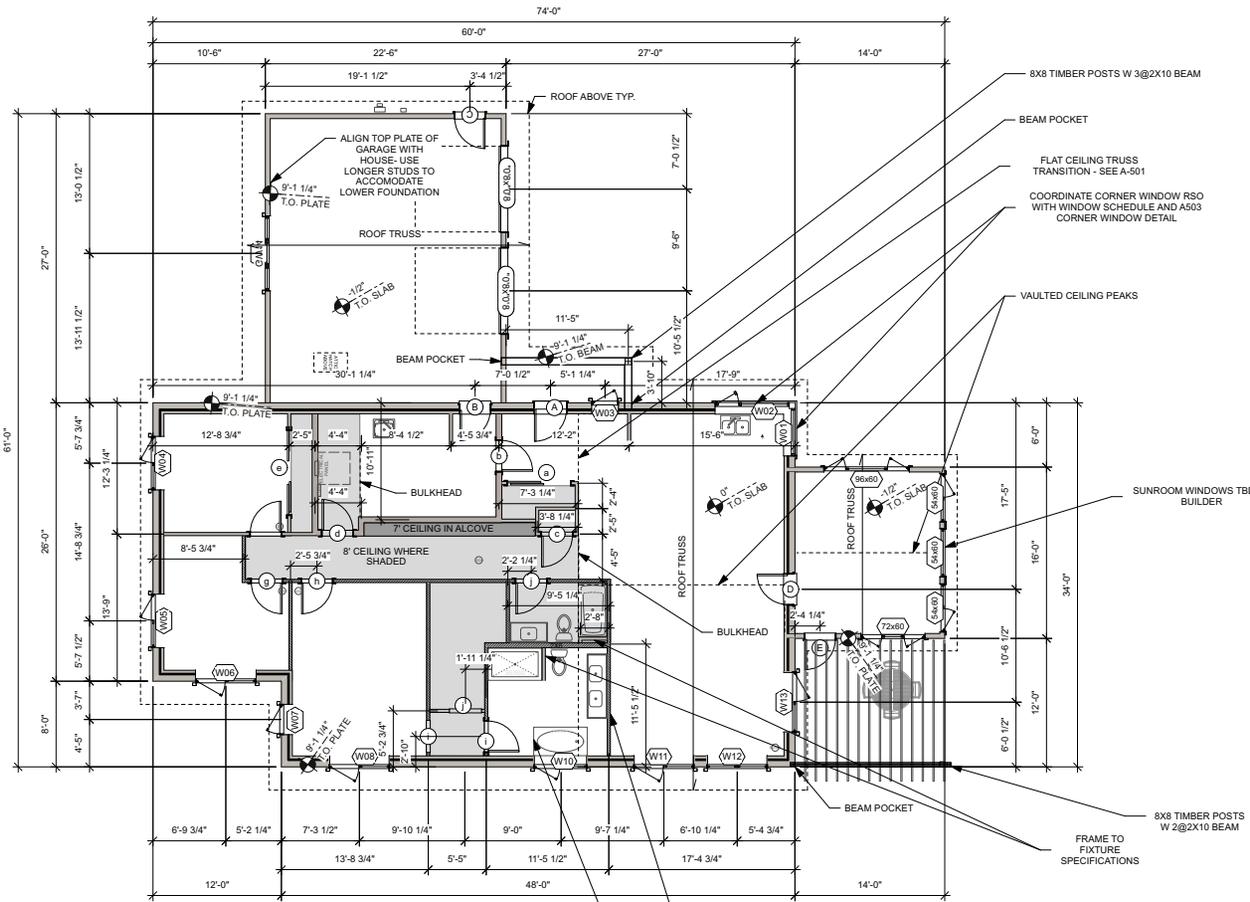
DESIGN DOCUMENTS
ISSUED FOR CONSTRUCTION

Tuesday, May 24, 2022

Ground Floor Framing Plan

Drawn By: ZA Checked By: XX

A105



1 GROUND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

WINDOW & EXTERIOR DOOR R.S.O. SCHEDULE

Mark	Window Frame or Door Leaf Size	Head Height/AFF	Top RSO Height/AFF	Lintel Size
A	2'0" 68"			2-2x6
B	2'10" 68"			2-2x6
C	2'10" 68"			2-2x6
D	2'10" 68"			2-2x6
E	2'10" 68"			2-2x6
W_01	4'8" 30"	6'10"	6'10 1/2"	2-2x6
W_02	7'0" 30"	6'10"	6'10 1/2"	2-2x10
W_03	2'8" 30"	6'10"	6'10 1/2"	2-2x6
W_04	5'0" 40"	6'10"	6'10 1/2"	2-2x10
W_05	5'0" 40"	6'10"	6'10 1/2"	2-2x10
W_06	5'8" 40"	6'10"	6'10 1/2"	2-2x10
W_07	2'10" 40"	6'10"	6'10 1/2"	2-2x6
W_08	5'8" 40"	6'10"	6'10 1/2"	2-2x10
W_09	5'0" 48"	6'10"	6'10 1/2"	2-2x10
W_10	5'8" 50"	6'10"	6'10 1/2"	2-2x10
W_11	5'8" 50"	6'10"	6'10 1/2"	2-2x10
W_12	5'8" 50"	6'10"	6'10 1/2"	2-2x10
W_13	5'8" 50"	6'10"	6'10 1/2"	2-2x10
GW_14	7'0" 26"	6'10"	6'10 1/2"	2-2x10

THIS TABLE SHOWS DOOR SLAB SIZE ONLY. REFER TO MANUFACTURER RECOMMENDED RSO.

FRAMING NOTES

- All dimensions are to outside face of exterior wall studs or the centerline of interior walls, doors, columns etc.
- Use manufacturer recommended RSO for windows and doors. Install as shown on detail pages A503 and A504
- Confirm window and door rough stud opening sizes on plan against order before framing begins.
- The specified snow load used for all lintel and beam sizes provided on this plan is per NBCC 9.4.2.2. (Location: Lunenburg, S= 1.65 kPa) Builder to confirm before starting construction
- Interior partition walls are to be 2x4; unless noted otherwise.
- For ceiling heights see page A301
- Floor and roof truss designs and framing plans to be provided by truss supplier.
- If present, cathedral ceilings and/or parallel chord trusses require rafter vent baffles to be installed from soffit to ridge for venting. Min. 2" airspace to be maintained per NBCC.
- Window and door head heights are to align except where otherwise noted.
- Doors are to be centered between adjacent walls unless dimensioned otherwise.
- Typical closet clear depth = 2'-0" unless noted otherwise.
- For acoustically insulated walls seal all joints, sills & holes for air-tightness.
- Install blocking behind wall mounted TVs. See Electrical Plans for TV locations.
- Install blocking in bath rooms for towel bars & tp holders, for fold-down shower seat, and for (future) grab bars in tub, shower, and around toilets.
- Install blocking as required for kitchen cabinets and bathroom vanities to facilitate installation.
- Provide solid blocking for future ceiling fans in all bedrooms and living room.
- Install blocking as required for any special requirements or finishes, eg. sliding barn door, wall hung millwork, etc.

TRUSS NOTES

- Roof trusses bear on 2x8 structural portion of exterior walls.
- House and garage wall heights are noted on the framing plan and sections. If required, adjust heel height on garage to align eaves.
- Min 16" raised heel on roof trusses over house.
- No raised heel on trusses over porch or garage is req'd but may be needed to align eaves.
- If attic storage is shown on sections page A301, design storage trusses over garage, approximate dimensions shown on section. Exact dimensions are to be determined by truss designer.
- If vaulted ceiling is shown on sections page A301, provide extra gable end truss to facilitate air-sealing at interior gable ends.
- See elevations and sections (A201 and A301) for slopes and overhangs.
- Roof trusses are to be designed such that they can handle the additional loads of a solar PV array on the south-facing roof.

GENERAL NOTES

1. All work is, at a minimum, to be completed in accordance with the National Building Code of Canada, latest edition, and in accordance with all other applicable codes, bylaws, and other legal requirements.
2. All Federal, provincial, and local ordinances, etc., shall be considered as part of the specifications for this building and shall take precedence over anything shown, described, or implied, if and where applicable.
3. The Client is responsible and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
7. Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is completed.
8. Supplemental engineering if required, by others.

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Barb and Don Mason

MEADOW

Hebb Point Rd., Lunenburg NS
60404191

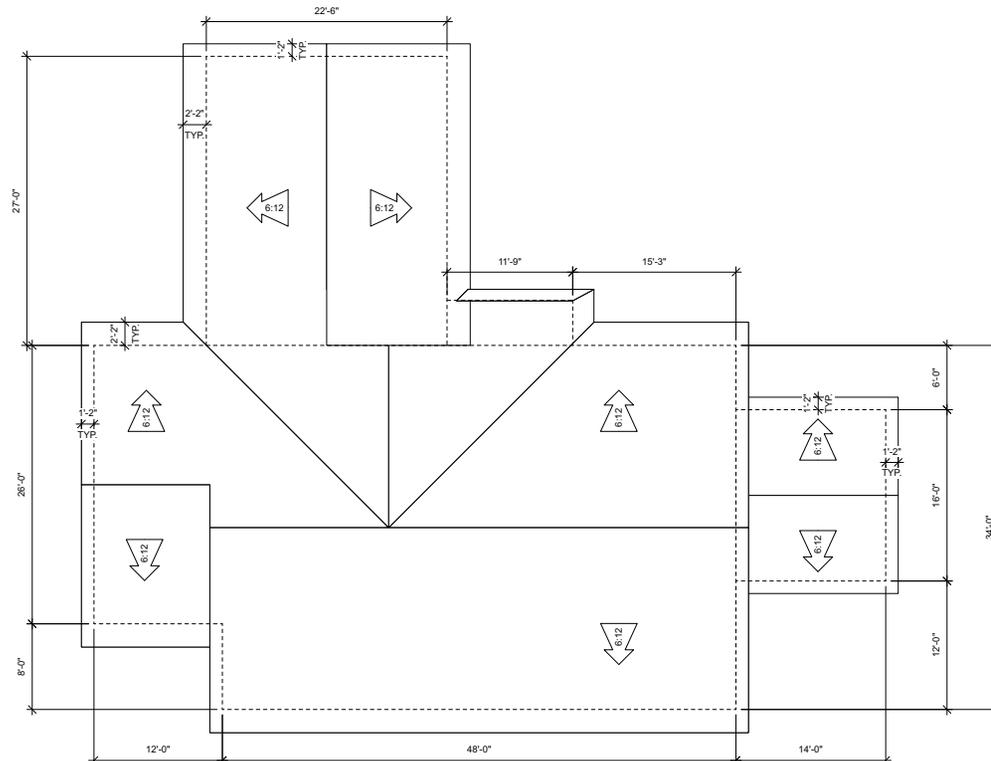
DESIGN DOCUMENTS
ISSUED FOR CONSTRUCTION

Tuesday, May 24, 2022

Roof Plan

Drawn By: LM Checked By: XX

A106



1 Roof Plan
Scale: 1/8" = 1'-0"

PLAN NOTES

1. All dimensions shown are to outer edge of wall framing below
2. Plumbing vent stack/s to be located on north facing roof to avoid interfering with solar panel array
3. Roof finish is as per finish schedule on A201
4. Roof overhang dimensions measure from the outer face of wall framing to outer face of fascia
5. Roof truss layout is by supplier

TRUSS NOTES

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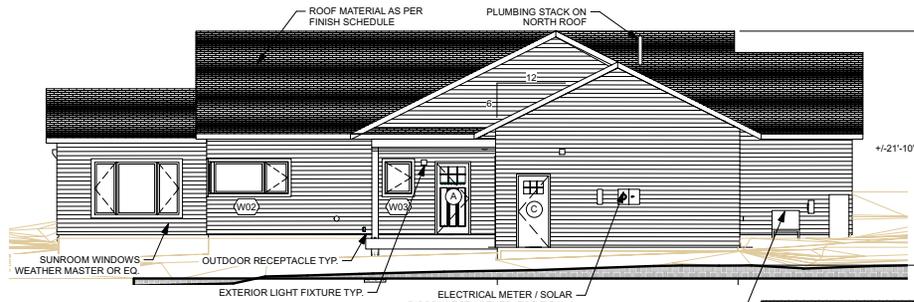
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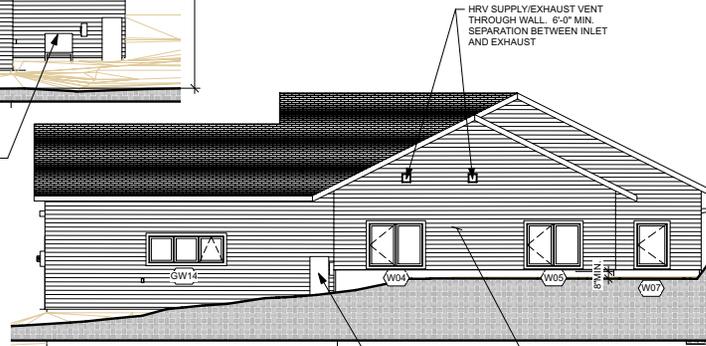
Elevations

Drawn By: ZA Checked By: XX

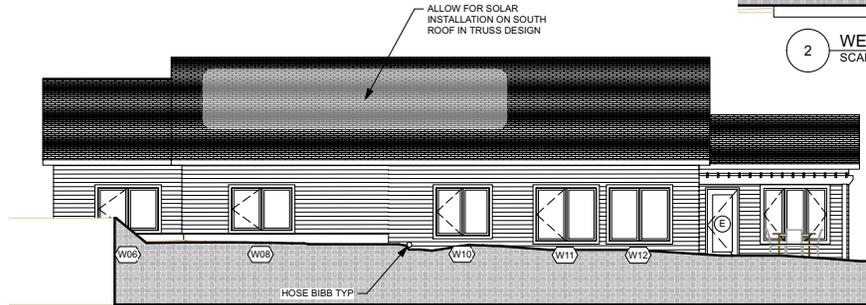
A201



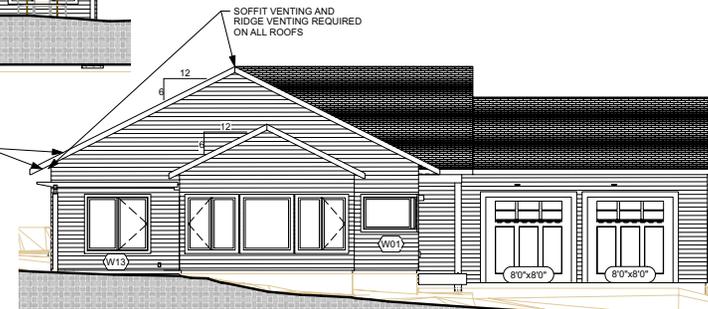
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



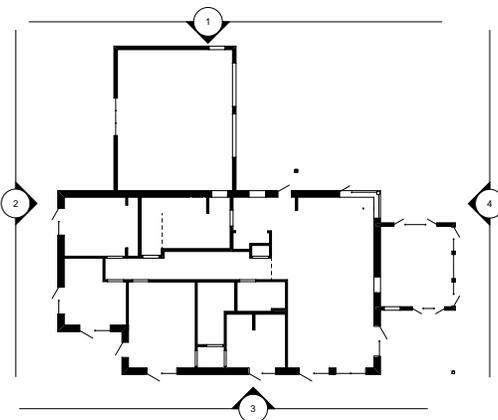
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 ELEVATION KEY PLAN
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

All finishes to be confirmed by owner

Item	Type	Finish
Roofing	Metal	t.b.d.
Fascia	aluminum	
Soffit	hidden vent vinyl or aluminum	
Exterior Trim:		
Window/Door	4" flat	
Corner Boards	6" flat	
Frieze		
Garage Door/s		
Siding	Cape code 5 3/8"	
Accent Siding 1	Cape Cod 7" or Shingles	

ELEVATION NOTES

1. All exterior trim, finishes, and colours to be confirmed by Owner.
2. Site grades shown are generic and may differ from the actual final grades for this project.
3. Eavestroughs and downspouts not shown; install where required.
4. Roof vents & plumbing stacks not shown; vent area to be min 1:150 (300).
5. If possible, do not bring vent stack up through south-facing roof to facilitate solar panel installation.
6. Dryer vent, range hood vent, & bath exhaust vents not used; electric range only, and condensing type dryer only.
7. Colour all exterior vents & vent hoods to match siding, or stainless.
8. Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
9. Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
10. See Window & Door Schedule for window & door head & sill heights, page A001
11. All bedrooms are to have windows that meet Code for egress requirements.
12. Screen doors not shown in elevation.

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3. The Builder is to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
7. Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
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Barb and Don Mason

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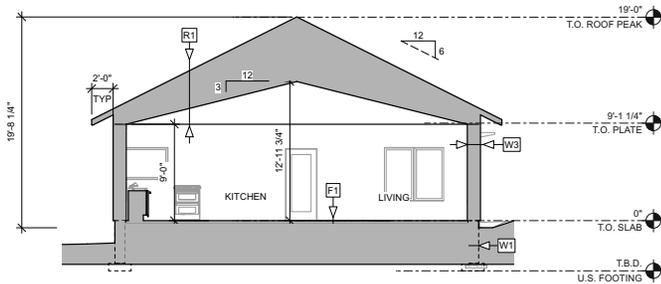
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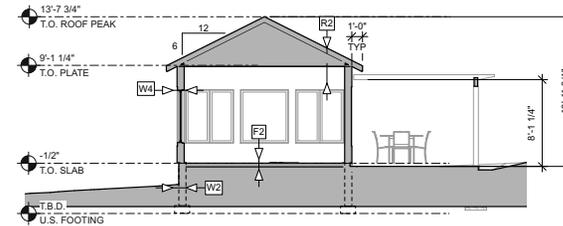
Sections

Drawn By: ZA Checked By: XX

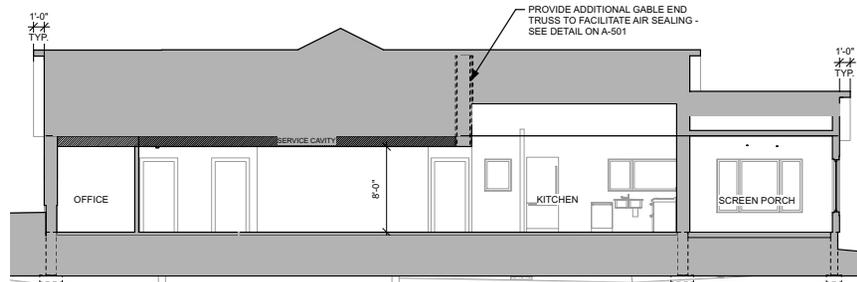
A301



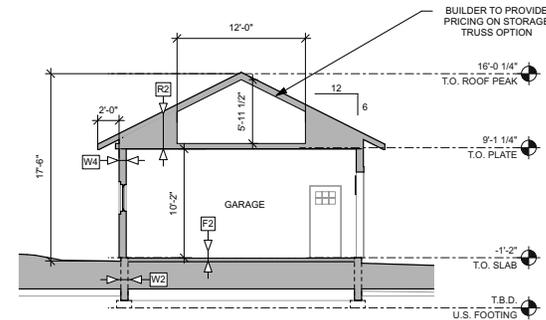
1 TRANSVERSE SECTION 1
SCALE: 1/8" = 1'-0"



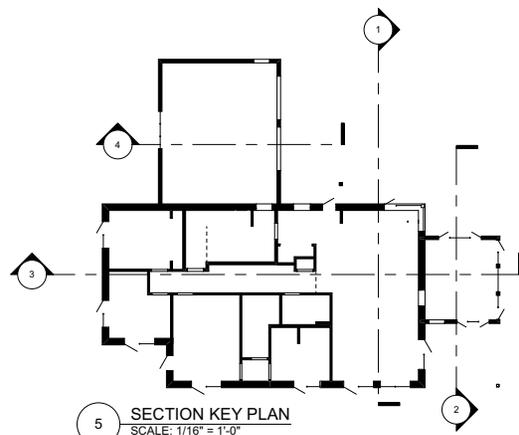
2 TRANSVERSE SECTION 2
SCALE: 1/8" = 1'-0"



3 LONGITUDINAL SECTION 1
SCALE: 1/8" = 1'-0"



4 TRANSVERSE SECTION 3
SCALE: 1/8" = 1'-0"



5 SECTION KEY PLAN
SCALE: 1/16" = 1'-0"

SECTION NOTES

1. If shown, confirm vertical dimensions after pre-engineered floor truss sizes are established.
2. See Window & Door Schedule for window & door head & sill heights, page A001.
3. Site grades shown are generic and may differ from the actual final grades for this project.
4. Landscaping must ensure positive drainage of storm water from around the building. A minimum slope of 1/2" : 1' away from the dwelling is required for the first six feet. All other constructed grades are to be minimum 2% and maximum 3:1.
5. Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
6. Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
7. Slope exterior patios and solid surface decks to drain 1/4" per 1'-0" for 10' around house.
8. Garage and porch slabs to be minimum 1/2" below the adjacent inside floor level.

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 - Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
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 - Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
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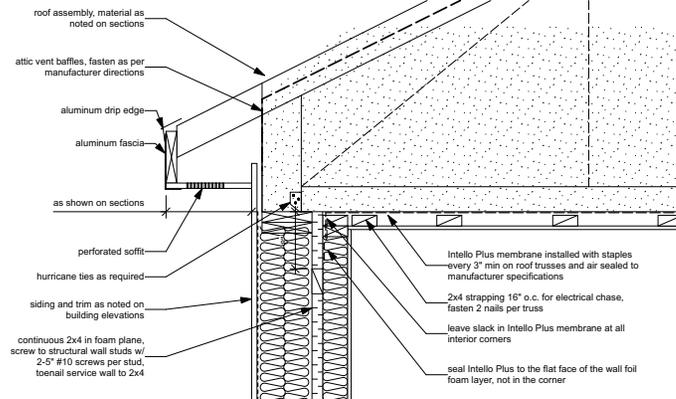
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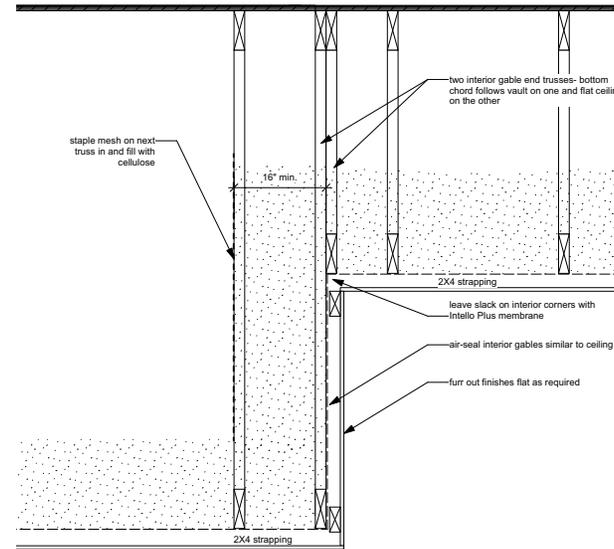
House Details

Drawn By: ZA Checked By: XX

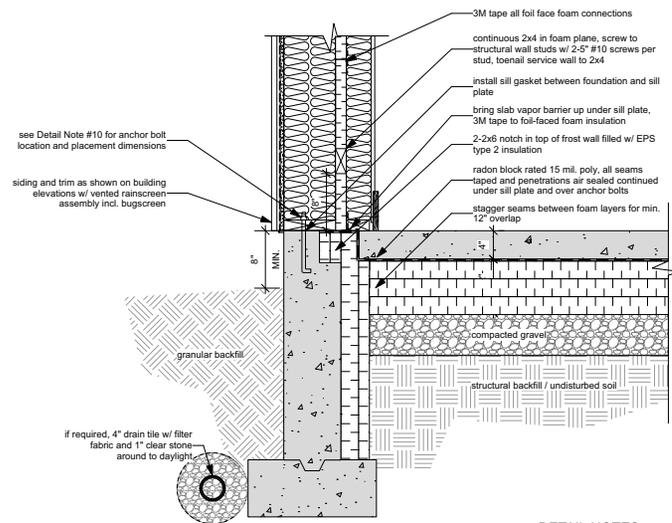
A501



1 House Wall @ Truss Detail
Scale: 1" = 1'-0"



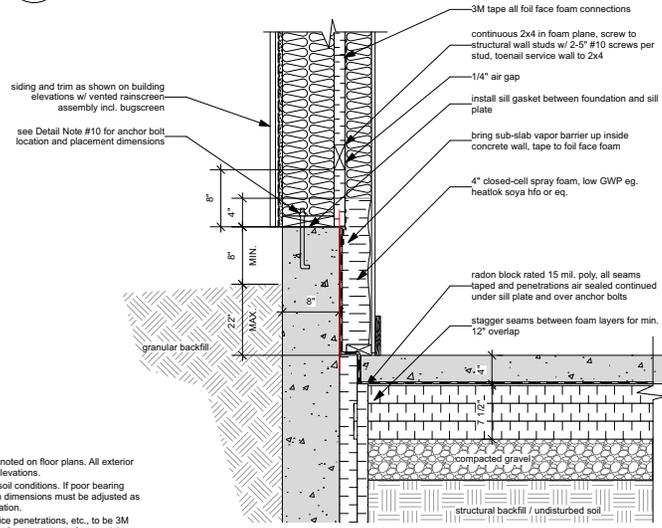
3 Extra Gable End Truss @ Vaulted Ceiling Detail
Scale: 1" = 1'-0"



2 House Wall @ Foundation Detail
Scale: 1" = 1'-0"

DETAIL NOTES

- All interior finish materials and colours are noted on floor plans. All exterior finish materials and colours are noted on elevations.
- Foundation design indicated is for normal soil conditions. If poor bearing conditions are encountered, the foundation dimensions must be adjusted as per a geotechnical engineer's recommendation.
- Tape for sealing air barrier sheathing, service penetrations, etc., to be 3M 8067 All-Weather Flashing Tape. Ensure surfaces are dry before applying and caulk all seams with acoustical sealant prior to applying tape.
- 3M 8067 and 3M 3015 tape are to be considered interchangeable on this project. If smart vapour retarder is used, manu. recommended tape may be used. All other tape substitutions must be confirmed with the designer.
- If shown, confirm vertical dimensions after pre-engineered floor truss sizes are established.
- Install foam sill gasket under all wood in contact with concrete surfaces, including all plates and columns.
- Ensure the tops of all trim and metal flashings slope to drain.
- Attic baffles are to be breathable, fastened as per manufacturer instructions, and light-fitting or taped as required to prevent cellulose from getting into the vented space.
- Sub-slab rigid insulation under slabs with a frost wall shall be type 2 EPS
- For taping weather barrier and poly vapour barriers, use the product recommended by the manufacturer.



4 House Wall @ Foundation Detail
Scale: 1" = 1'-0"

ELECTRICAL SYSTEM NOTES

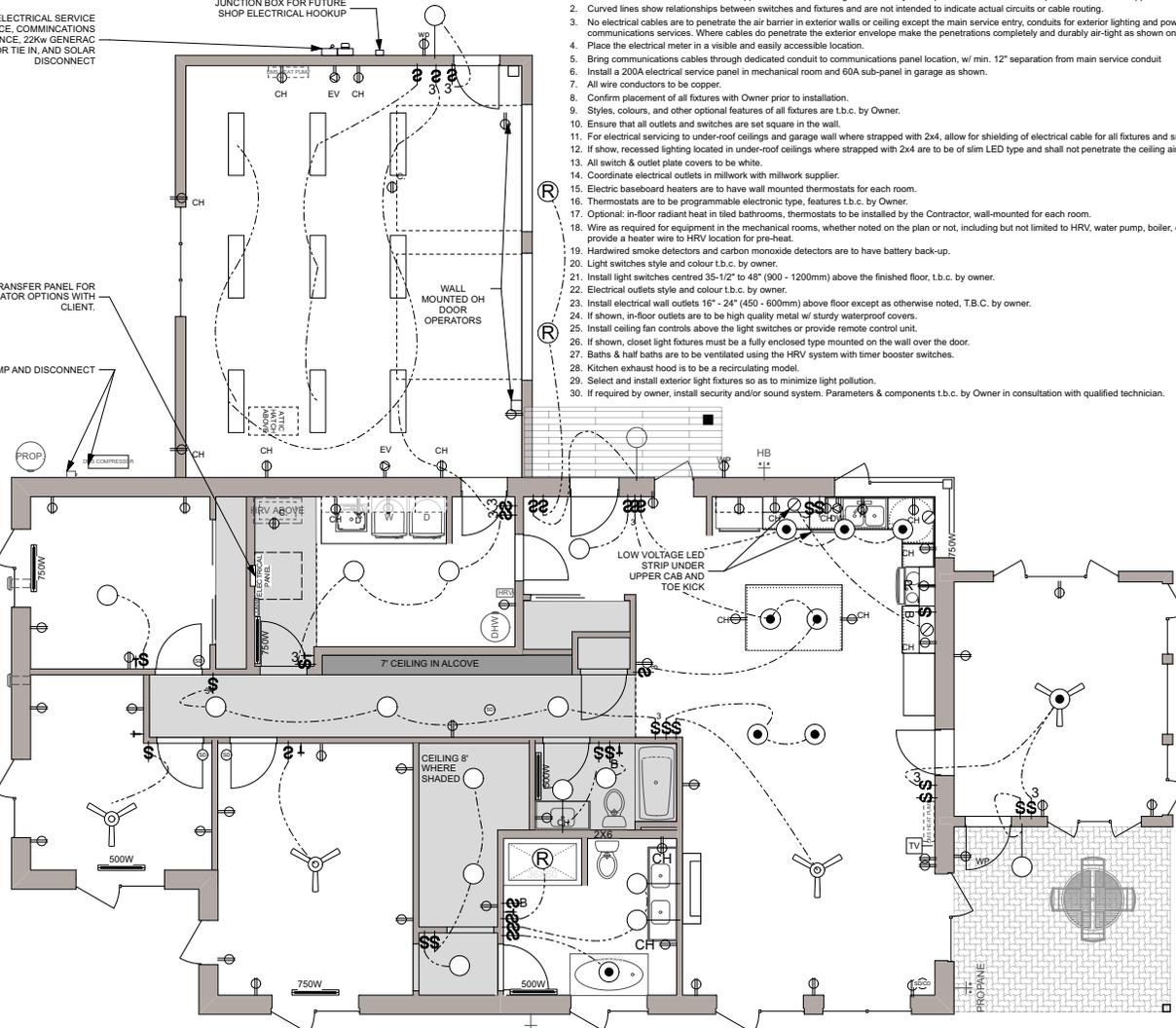
1. Electrical work is to follow all current applicable Codes and Regulations. If any discrepancies exist between this plan and the current applicable codes, the codes will take precedence.
2. Curved lines show relationships between switches and fixtures and are not intended to indicate actual circuits or cable routing.
3. No electrical cables are to penetrate the air barrier in exterior walls or ceiling except the main service entry, conduits for exterior lighting and power, and the conduit for communications services. Where cables do penetrate the exterior envelope make the penetrations completely and durably air-tight as shown on "Air Sealing Details" page
4. Place the electrical meter in a visible and easily accessible location.
5. Bring communications cables through dedicated conduit to communications panel location. w/ min. 12" separation from main service conduit
6. Install a 200A electrical service panel in mechanical room and 60A sub-panel in garage as shown.
7. All wire conduit to be copper.
8. Confirm placement of all fixtures with Owner prior to installation.
9. Styles, colours, and other optional features of all fixtures are t.b.c. by Owner.
10. Ensure that all outlets and switches are set square in the wall.
11. For electrical servicing to under-roof ceilings and garage wall where strapped with 2x4, allow for shielding of electrical cable for all fixtures and smoke detectors.
12. If shown, recessed lighting located in under-roof ceilings where strapped with 2x4 are to be of slim LED type and shall not penetrate the ceiling air barrier.
13. All switch & outlet plate covers to be white.
14. Coordinate electrical outlets in millwork with millwork supplier.
15. Electric baseboard heaters are to have wall mounted thermostats for each room.
16. Thermostats are to be programmable electronic type, features t.b.c. by Owner.
17. Optional: in-floor radiant heat in tiled bathrooms, thermostats to be installed by the Contractor, wall-mounted for each room.
18. Wire as required for equipment in the mechanical rooms, whether noted on the plan or not, including but not limited to HRV, water pump, boiler, controls, etc. If required for HRV, provide a heater wire to HRV location for pre-heat.
19. Hardwired smoke detectors and carbon monoxide detectors are to have battery back-up.
20. Light switches style and colour t.b.c. by owner.
21. Install light switches centred 35-1/2" to 48" (900 - 1200mm) above the finished floor. t.b.c. by owner.
22. Electrical outlets style and colour t.b.c. by owner.
23. Install electrical wall outlets 16" - 24" (450 - 600mm) above floor except as otherwise noted, T.B.C. by owner.
24. If shown, in-floor outlets are to be high quality metal w/ sturdy waterproof covers.
25. Install ceiling fan controls above the light switches or provide remote control unit.
26. If shown, closet light fixtures must be a fully enclosed type mounted on the wall over the door.
27. Baths & half baths are to be ventilated using the HRV system with timer booster switches.
28. Kitchen exhaust hood is to be a recirculating model.
29. Select and install exterior light fixtures so as to minimize light pollution.
30. If required by owner, install security and/or sound system. Parameters & components t.b.c. by Owner in consultation with qualified technician.

ELECTRICAL SERVICE
ENTRANCE, COMMUNICATIONS
ENTRANCE, 22kW GENERAC
GENERATOR TIE IN, AND SOLAR
DISCONNECT

JUNCTION BOX FOR FUTURE
SHOP ELECTRICAL HOOKUP

DISCUSS TRANSFER PANEL FOR
GENERATOR OPTIONS WITH
CLIENT.

HEAT PUMP AND DISCONNECT



1 GROUND FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

SOLAR ROUGH IN:

1. Discuss solar array options with Owner and determine if ground-mounted or roof-mounted array is more desirable for this particular site.
2. Install disconnect for solar array beside electrical meter.
3. Install cable and/or conduits to outside ground from solar array location.
4. Install cable and/or conduit from service panel to solar array location.
5. If required, coordinate install of storage batteries and other off-grid components.

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Barb and Don Mason

MEADOW

Hebb Point Rd., Lunenburg NS
60404191

DESIGN DOCUMENTS
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Tuesday, May 24, 2022

**Ground Floor Electrical
Plan**

Drawn By: ZA Checked By: XX

E101



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**Ground Floor
Mechanical Plan**

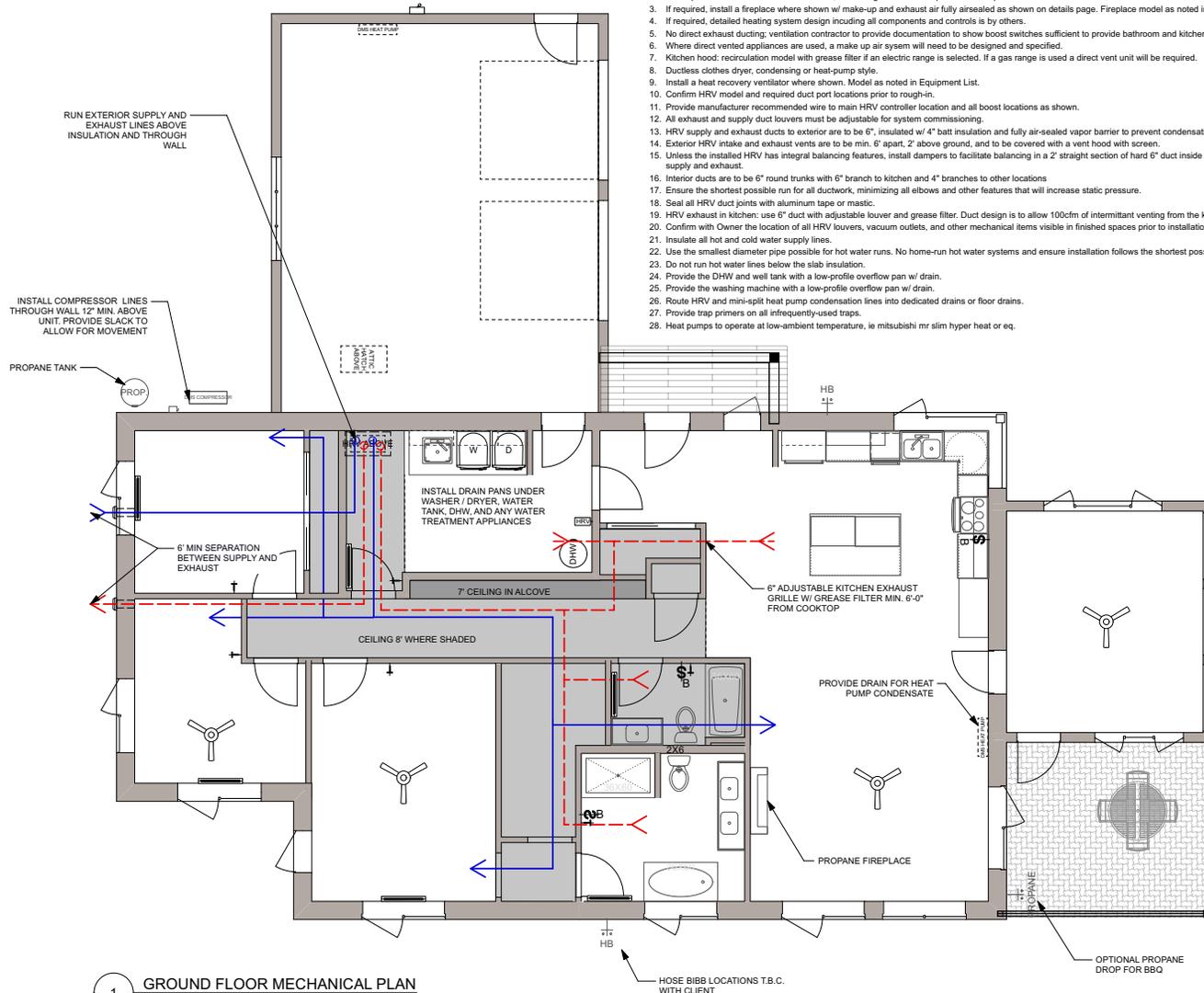
Drawn By: ZA Checked By: XX

M101



MECHANICAL NOTES

- Heating system: ductless mini-split heat pump with electric baseboard backup. Electric baseboard convectors style & colour t.b.c. by Owner. DMS size and model as noted in Equipment List.
- If multiple indoor ductless heads are shown, use a single outdoor compressor where possible.
- If required, install a fireplace where shown w/ make-up and exhaust air fully airtight as shown on details page. Fireplace model as noted in Equipment List.
- If required, detailed heating system design including all components and controls is by others.
- No direct exhaust ducting; ventilation contractor to provide documentation to show boost switches sufficient to provide bathroom and kitchen ventilation.
- Where direct vented appliances are used, a make up air system will need to be designed and specified.
- Kitchen hood: recirculation model with grease filter if an electric range is selected. If a gas range is used a direct vent unit will be required.
- Ductless clothes dryer: condensing or heat-pump style.
- Install a heat recovery ventilator where shown. Model as noted in Equipment List.
- Confirm HRV model and required duct port locations prior to rough-in.
- All exhaust and supply duct louvers must be adjustable for system commissioning.
- HRV supply and exhaust ducts to exterior are to be 6" insulated w/ 4" batt insulation and fully air-sealed vapor barrier to prevent condensation.
- Exterior HRV intake and exhaust vents are to be min. 6" apart, 2' above ground, and to be covered with a vent hood with screen.
- Unless the installed HRV has integral balancing features, install dampers to facilitate balancing in a 2' straight section of hard 6" duct inside mechanical room on both supply and exhaust.
- Interior ducts are to be 6" round trunks with 6" branch to kitchen and 4" branches to other locations.
- Ensure the shortest possible run for all ductwork, minimizing all elbows and other features that will increase static pressure.
- HRV exhaust in kitchen: use 6" duct with adjustable louver and grease filter. Duct design is to allow 100cfm of intermittent venting from the kitchen.
- Confirm with Owner the location of all HRV louvers, vacuum outlets, and other mechanical items visible in finished spaces prior to installation.
- Insulate all hot and cold water supply lines.
- Use the smallest diameter pipe possible for hot water runs. No home-run hot water systems and ensure installation follows the shortest possible run.
- Do not run hot water lines below the slab insulation.
- Provide the DHW and well tank with a low-profile overflow pan w/ drain.
- Provide the washing machine with a low-profile overflow pan w/ drain.
- Route HRV and mini-split heat pump condensation lines into dedicated drains or floor drains.
- Provide trap primers on all infrequently-used traps.
- Heat pumps to operate at low-ambient temperature, ie mitsubishi mr slim hyper heat or eq.



1 GROUND FLOOR MECHANICAL PLAN
SCALE: 3/16" = 1'-0"

MECHANICAL SYMBOL LEGEND

- | | | | |
|--|---|--|---|
| | HRV MAIN CONTROL UNIT | | VENTILATION SUPPLY VENT |
| | HRV BOOST SWITCH | | VENTILATION EXHAUST VENT |
| | THERMOSTAT | | VENTILATION SUPPLY (HORIZONTAL IN CEILING) |
| | HOSE BIBB | | VENTILATION EXHAUST (HORIZONTAL IN CEILING) |
| | WELL TANK | | VENTILATION SUPPLY (VERTICAL RISER) |
| | DOMESTIC HOT WATER (HEAT PUMP WATER HEATER) | | VENTILATION EXHAUST (VERTICAL RISER) |
| | ELECTRIC BASEBOARD HEATER | | |

EQUIPMENT SCHEDULE

Item	Size	Make	Model
Heat Pump	4-12A BTU	MITSUBISHI OR EQ.	MR. SLIM M SERIES OR EQ.
HRV	150 CFM	FANTECH	HERO 150 ECM
Water Heater	50 GAL.	RHEEM	PRESTIGE HYBRID